

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT			
MCARDLE WAYNE A			0 Water	0 Private	0 Average	Description	Code	Appraised	Assessed
MCARDLE PAMELA W			0 No Sewer	0 Paved	0 Average	RESIDNTL	1010	628,600	628,600
25 LINDEN LN		SUPPLEMENTAL DATA			0 Light	RES LAND	1010	2,036,100	2,036,100
DUXBURY MA 02332		Alt Prcl ID Scnd Home Tax Class T Tot Fin Area 3223 Total Acres .73 Chapter Lan			Cyclical 9 Exemption W District Res Exem	RESIDNTL	1010	11,400	11,400
GIS ID F_881172_2837577		Assoc Pid#			Total		2,676,100	2,676,100	

905
 DUXBURY, MA
VISION

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)					
MCARDLE WAYNE A		41826 0156	08-21-2012	Q	I	875,000	00	Year	Code	Assessed	Year	Code	Assessed
BARLOW LILLIAN P TT		38313 0265	03-10-2010	U	I	100	1F	2023	1010	482,300	2022	1010	397,000
BARLOW JOSEPH J		10340 0100	06-21-1991	Q	I	410,000	00		1010	1,777,700		1010	1,214,100
									1010	8,400		1010	8,400
		Total						Total		2,268,400	Total		1,619,500
								Total			Total		1,393,700

EXEMPTIONS			OTHER ASSESSMENTS					
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
Total		0.00						

This signature acknowledges a visit by a Data Collector or Assessor

APPRAISED VALUE SUMMARY	
Appraised Bldg. Value (Card)	628,600
Appraised Xf (B) Value (Bldg)	0
Appraised Ob (B) Value (Bldg)	11,400
Appraised Land Value (Bldg)	2,036,100
Special Land Value	0
Total Appraised Parcel Value	2,676,100
Valuation Method	C
Total Appraised Parcel Value	2,676,100

ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
0090			

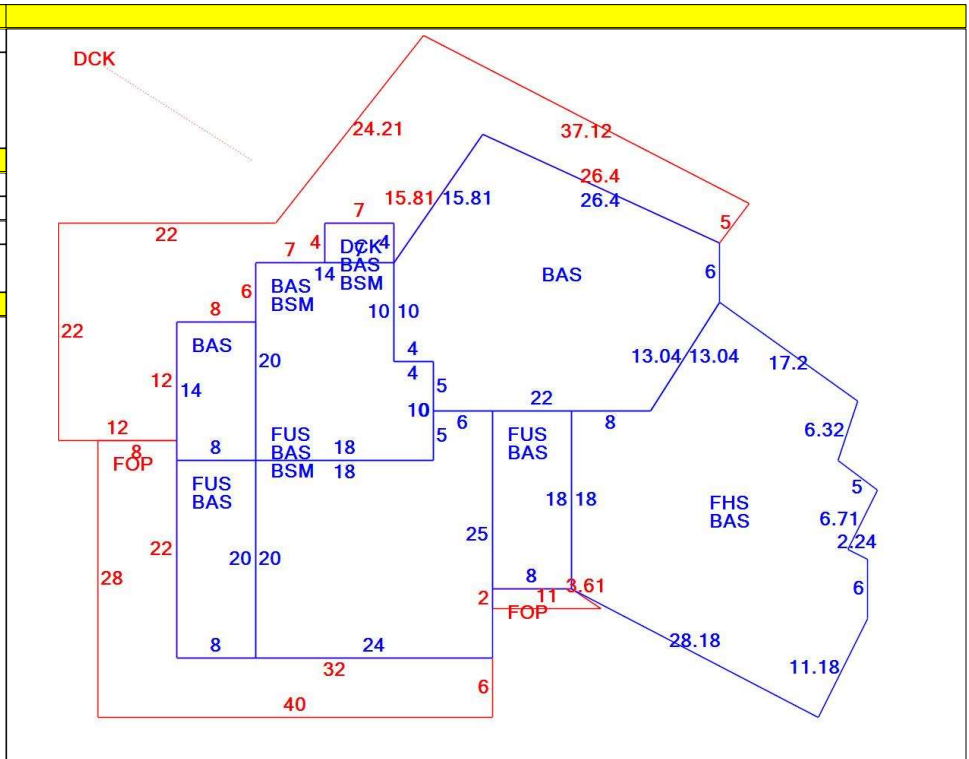
NOTES													

BUILDING PERMIT RECORD										VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result
BP-20-24	01-29-2020	RM		20,000	08-17-2020	100	09-16-2020	KITCHEN REMODEL AND 3 WI		08-17-2020	SJT	5		20	Field Review
2017-254	08-07-2017	MS	Miscellaneous	8,000	05-16-2018	100		INSTALL DUCTS IN WALLS TO		05-16-2018	JLF	5		01	Measure - No Entry
2017-238	07-25-2017	RM	Remodel	60,000	05-16-2018	100		REPLACE SOME WINDOWS &		10-25-2016	JLF	10	1	00	Measure & Listed
2017-30	01-31-2017	AD	Addition	177,000	05-16-2018	100		CONSTRUCT TWO DORMERS		04-12-2013	VGS			20	Field Review
184	12-02-2009	MN	Maintenance	4,000	05-16-2018	100		RPL 3 WINDOWS		05-31-2012	KP	6		20	Field Review
64	10-31-2005	MS	Miscellaneous	11,931	05-16-2018	100		REPLC WINDOWS		08-09-2003	KP		1	00	Measure & Listed
120010178	05-15-2001	NC	New Construct	34,000	08-09-2003	100		FAMRM ADDTO KIT							

LAND LINE VALUATION SECTION																
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value	
1	1010	Single Family	RC	Primary	31,799 SF	10.52	1.00000	5	1.00	0090	3.661		V175,ES95	1.6625	64.03	2,036,100
Total Card Land Units					0.73	AC	Parcel Total Land Area					0.73	Total Land Value			2,036,100

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style	06	Conventional	Bsmt Area	1398	
Model	01	Residential	Bsmt Type	00	N/A
Grade	06	Good	Unfin Area	0.00	N/A
Stories	2				
Occupancy	1				
Exterior Wall 1	14	Wood Shingle			
Exterior Wall 2					
Roof Structure	03	Gable			
Roof Cover	03	Asphalt			
Interior Wall 1	05	Drywall			
Interior Wall 2					
Interior Floor 1	12	Hardwood			
Interior Floor 2					
Heat Fuel	03	Gas			
Heat Type	05	Hot Water			
AC Type	03	Central			
Bedrooms	4				
Full Baths	3				
Half Baths	0				
Extra Fixtures	3				
Total Rooms	10				
Bath Style	02	Average			
Kitchen Style	03	Modern			
Extra Kitchens	0				
Fireplaces	1				
Extra Openings	0				
Gas Fireplaces	0				
Sq Ft Fin Bsmt	0				
FBM Quality					
Foundation	05	Conc Block			
Bsmt Garage	0				
Bsmt Area	1398				

CONDO DATA			
Parcel Id	C	Owne	
		B	S
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			
Net Other Adj		858,694	
Replace Cost		26,680	
Year Built		1840	
Effective Year Built		1992	
Depreciation Code		G	
Remodel Rating			
Year Remodeled			
Depreciation %		29	
Functional Obsol			
External Obsol			
Trend Factor		1.000	
Condition			
Condition %			
Percent Good		71	
Cns Sect Rcnld		628,600	
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FGR1	Garage - 1 Sto	L	216	52.00	1980	A	70	C	1.00	7,900
SHD1	Shed	L	128	21.00	1987	A	70	C	1.00	1,900
SHD1	Shed	L	112	21.00	1985	A	70	C	1.00	1,600

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	2,796	2,796	2,796	197.45	552,060
BSM	Basement	0	858	172	39.58	33,961
DCK	Deck	0	783	78	19.67	15,401
FHS	Finished Half Story	424	847	424	98.84	83,717
FOP	Open Porch	0	435	65	29.50	12,834
FUS	Finished Upper Story	814	814	814	197.45	160,721
Ttl Gross Liv / Lease Area		4,034	6,533	4,349		858,694

