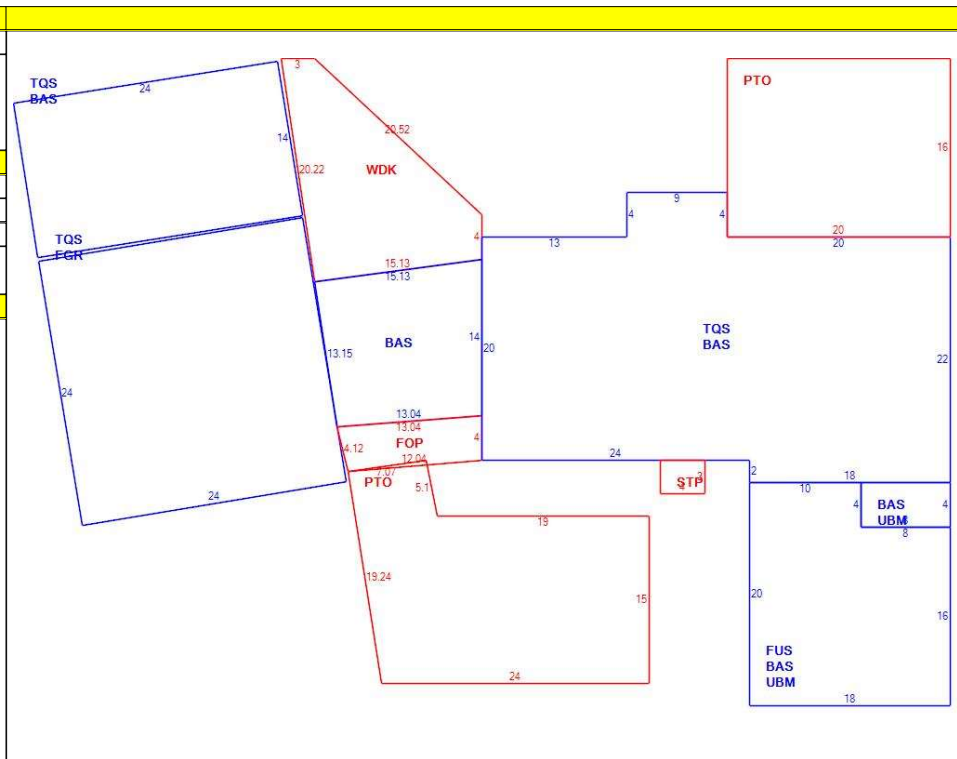


CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				1302 EDGARTOWN, MA VISION						
PEAKES MV LLC 1145 GULF OF MEXICO DRIVE UNIT #102 LONGBOAT KEY FL 34228			2 Public Water	1 State Road		Description	Code	Appraised	Assessed			RESIDENTL 1010 2,178,200 2,178,200 RES LND 1010 814,300 814,300				
			3 Public Sewer	1 Paved												
SUPPLEMENTAL DATA						Total 2,992,500 2,992,500										
Alt Prcl ID PLN#/Rec Lot# Plan Notes Plan Notes Plan Notes GIS ID M_281899_793808		Restriction Hist Distrct Other Note UC-Misc 1 UC-Misc 2 Assoc Pid#														
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
PEAKES MV LLC		1140 0572	01-10-2008	U	I	1	1A	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
PEAKES LEE W & JAN S		1096 1004	09-29-2006	Q	I	1,275,000	00	2023	1010	2,105,000	2022	1010	1,347,200	2021	1010	1,493,700
CHADBURN CARL T &		0972 0063	10-01-2003	Q	I	1,140,000	00		1010	820,300		1010	820,300		1010	718,600
BLACKTHORN GROUP LLC		0920 0158	01-09-2003	U	I	1	1A	Total 2,925,300 Total 2,167,500 Total 2,212,300								
BLACKTHORN ENTERPRISES LLC		0840 0733	07-03-2001	U	I	1	1A									
EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor									
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int	APPRAISED VALUE SUMMARY							
Total			0.00													
ASSESSING NEIGHBORHOOD						Appraised Bldg. Value (Card) 2,171,500 Appraised Xf (B) Value (Bldg) 3,800 Appraised Ob (B) Value (Bldg) 2,900 Appraised Land Value (Bldg) 814,300 Special Land Value 0 Total Appraised Parcel Value 2,992,500 Valuation Method C Total Appraised Parcel Value 2,992,500										
Nbhd	Nbhd Name		B	Tracing												Batch
0060																
NOTES																
PCL 3 ERICKSON THRU RRK LOT																
BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY								
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result		
2007:125 198	12-26-2006 01-01-2003	RA AD	Res Add/Alter Addition		12-31-2003	100	01-01-2004	ADDITION	05-20-2022	DM			11	Field Review		
									01-04-2019	EP			01	Cyclical Reinspection		
									05-17-2017	MM			11	Field Review		
									11-29-2011	MM			11	Field Review		
									03-06-2008	EP			12	Bldg Permit/Measur/New C		
									03-05-2007	EP			12	Bldg Permit/Measur/New C		
									01-11-2007	WP			50	UC Status Inspection		
LAND LINE VALUATION SECTION																
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes		Location Adjustment	Adj Unit P	Land Value
1	1010	SINGL FAM M-0	R5		16,643 SF	18.82	1.00000	6	1.00	0060	2.600				48.93	814,300
Total Card Land Units					0.38 AC	Parcel Total Land Area					0.38	Total Land Value				814,300

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	06	Custom			
Model	01	Residential			
Grade:	06	Good			
Stories:	1.75				
Occupancy	1				
Exterior Wall 1	11	Clapboard			
Exterior Wall 2					
Roof Structure:	03	Gable/Hip			
Roof Cover	03	Asph/F Gls/Cmp			
Interior Wall 1	05	Drywall/Sheet			
Interior Wall 2					
Interior Flr 1	09	Pine/Soft Wood			
Interior Flr 2					
Heat Fuel	03	Gas			
Heat Type:	04	Forced Air-Duc			
AC Type:	03	Central			
Total Bedrooms	05	5 Bedrooms			
Total Bthrms:	4				
Total Half Baths	1				
Total Xtra Fixtrs					
Total Rooms:	8				
Bath Style:	03	Modern			
Kitchen Style:	03	Luxurious			
CONDO DATA					
Parcel Id		C	Owne	0.0	
			B	S	
Adjust Type	Code	Description	Factor%		
Condo Flr					
Condo Unit					
COST / MARKET VALUATION					
Building Value New		2,285,771			
Year Built		1982			
Effective Year Built		2017			
Depreciation Code		VG			
Remodel Rating					
Year Remodeled					
Depreciation %		5			
Functional Obsol		0			
External Obsol		0			
Trend Factor		1			
Condition					
Condition %					
Percent Good		95			
Cns Sect Rcnld		2,171,500			
Dep % Ovr					
Dep Ovr Comment					
Misc Imp Ovr					
Misc Imp Ovr Comment					
Cost to Cure Ovr					
Cost to Cure Ovr Comment					



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL3	FPL MSNRY 2	B	1	4000.00	2011		95		0.00	3,800
PAT1	PATIO-AVG	L	480	4.50	2004		100		0.00	2,200
ODP	OUTDOOR PL	L	1	700.00	2007		100		0.00	700

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,799	1,799	1,799	579.52	1,042,549
FGR	Garage	0	576	230	231.40	133,289
FOP	Porch, Open, Finished	0	51	10	113.63	5,795
FUS	Upper Story, Finished	328	328	328	579.52	190,081
PTO	Patio	0	731	73	57.87	42,305
STP	Stoop	0	12	1	48.29	580
TQS	Three Quarter Story	1,368	1,824	1,368	434.64	792,778
UBM	Basement, Unfinished	0	360	72	115.90	41,725
WDK	Deck, Wood	0	210	21	57.95	12,170
Ttl Gross Liv / Lease Area		3,495	5,891	3,902		2,261,272

