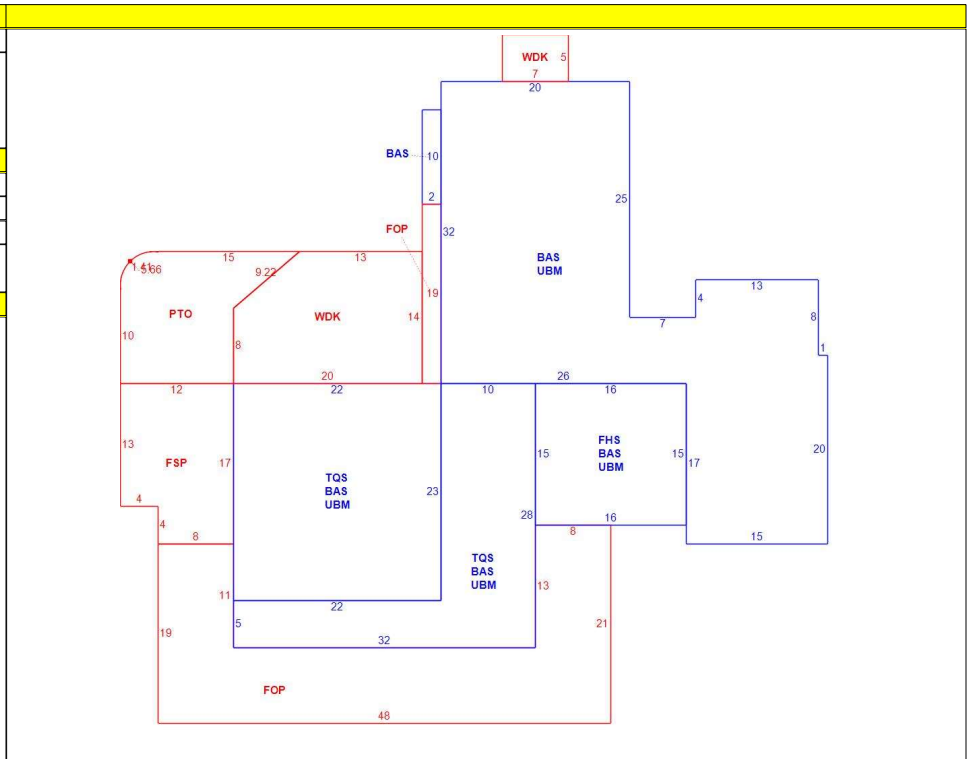


CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				1302 EDGARTOWN, MA					
KUBASEK EDWARD J II & KAREN			3 Public Sewer			Description	Code	Appraised	Assessed						
PO BOX 1135						RESIDENTL	1010	1,339,000	1,339,000	VISION					
SIMSBURY CT 06070						RES LND	1010	592,200	592,200						
SUPPLEMENTAL DATA						Total		1,931,200	1,931,200						
Alt Prcl ID		Restriction		Hist Distrct		Other Note									
PLN#/Rec CF 43 VICKERS		UC-Misc 1		UC-Misc 2		Assoc Pid#									
Lot# 15															
Plan Notes															
Plan Notes															
Plan Notes															
GIS ID M_281310_791539															
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)							
KUBASEK EDWARD J II & KAREN		0714 0136	11-21-1997	U	I	229,000	00	Year	Code	Assessed	Year	Code	Assessed		
COLSON RICHARD A & MCGLYNN		0703 0385	06-27-1997	U	V	55,000	1P	2023	1010	1,339,000	2022	1010	847,200		
CLARK GORDON L JR		0290 0215	06-11-1971			0			1010	592,200	2021	1010	785,700		
												1010	510,400		
								Total		1,931,200	Total		1,438,700		
								Total			Total		1,296,100		
EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor								
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int							
Total			0.00												
ASSESSING NEIGHBORHOOD						APPRAISED VALUE SUMMARY									
Nbhd	Nbhd Name	B	Tracing	Batch											
0050															
NOTES															
FULL REAR DORMER															
BUILDING PERMIT RECORD						VISIT / CHANGE HISTORY									
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result	
2020-324	11-19-2019	CO				0		RENOVATE EXISTING SFR	05-20-2022	LS			11	Field Review	
2019-324	11-27-2018	RA	Res Add/Alter	550,000		0		RENOVATE EXISTING SFR	06-03-2020	EP			01	Cyclical Reinspection	
2019-178	10-09-2018	RA	Res Add/Alter	45,000		0		FOUNDATION FOR ADDITIO	08-12-2019	EP			00	Measur+Listed	
									08-12-2019	EP			00	Measur+Listed	
									12-06-2017	EP			01	Cyclical Reinspection	
									05-23-2017	PH			11	Field Review	
									06-19-2014	SER			11	Field Review	
LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value
1	1010	SINGL FAM M-0	R20		21,780 SF	13.88	1.00000	5	1.00	0050	1.950			27.07	589,500
1	1010	SINGL FAM M-0	R20		0.040 AC	34,000.00	1.00000	0	1.00	0050	1.950			66,300	2,700
Total Card Land Units					0.54 AC	Parcel Total Land Area					0.54	Total Land Value			592,200

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	04	Cape Cod			
Model	01	Residential			
Grade:	05	Average +20			
Stories:	1.75				
Occupancy	1				
Exterior Wall 1	14	Wood Shingle			
Exterior Wall 2					
Roof Structure:	03	Gable/Hip			
Roof Cover	03	Asph/F Gls/Cmp			
Interior Wall 1	05	Drywall/Sheet			
Interior Wall 2					
Interior Flr 1	12	Hardwood			
Interior Flr 2	14	Carpet			
Heat Fuel	03	Gas			
Heat Type:	04	Forced Air-Duc			
AC Type:	03	Central			
Total Bedrooms	04	4 Bedrooms			
Total Bthrms:	4				
Total Half Baths	0				
Total Xtra Fixtrs	2				
Total Rooms:		6 Rooms			
Bath Style:	02	Average			
Kitchen Style:	02	Modern			
			CONDO DATA		
			Parcel Id	C	Ownr 0.0
				B	S
			Adjust Type	Code	Description
			Condo Flr		
			Condo Unit		
			COST / MARKET VALUATION		
			Building Value New		1,386,152
			Year Built		1997
			Effective Year Built		2017
			Depreciation Code		VG
			Remodel Rating		
			Year Remodeled		
			Depreciation %		4
			Functional Obsol		0
			External Obsol		0
			Trend Factor		1
			Condition		
			Condition %		
			Percent Good		96
			Cns Sect Rcnld		1,330,700
			Dep % Ovr		
			Dep Ovr Comment		
			Misc Imp Ovr		
			Misc Imp Ovr Comment		
			Cost to Cure Ovr		
			Cost to Cure Ovr Comment		



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL3	FPL MSNRY 2	B	1	4000.00	2011		96		0.00	3,800
SHD1	SHED FRAME	L	120	16.00	2010		100		0.00	1,900
ODS	OUTDOOR S	L	1	700.00			100		0.00	700
FPL5	GAS VENTED	B	1	2000.00			96		0.00	1,900

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	2,246	2,246	2,246	369.25	829,340
FHS	Half Story, Finished	120	240	120	184.63	44,310
FOP	Porch, Open, Finished	0	614	123	73.97	45,418
FSP	Porch, Screen, Finished	0	188	47	92.31	17,355
PTO	Patio	0	175	18	37.98	6,647
TQS	Three Quarter Story	672	896	672	276.94	248,137
UBM	Basement, Unfinished	0	2,226	445	73.82	164,317
WDK	Deck, Wood	0	294	29	36.42	10,708
Ttl Gross Liv / Lease Area		3,038	6,879	3,700		1,366,232

